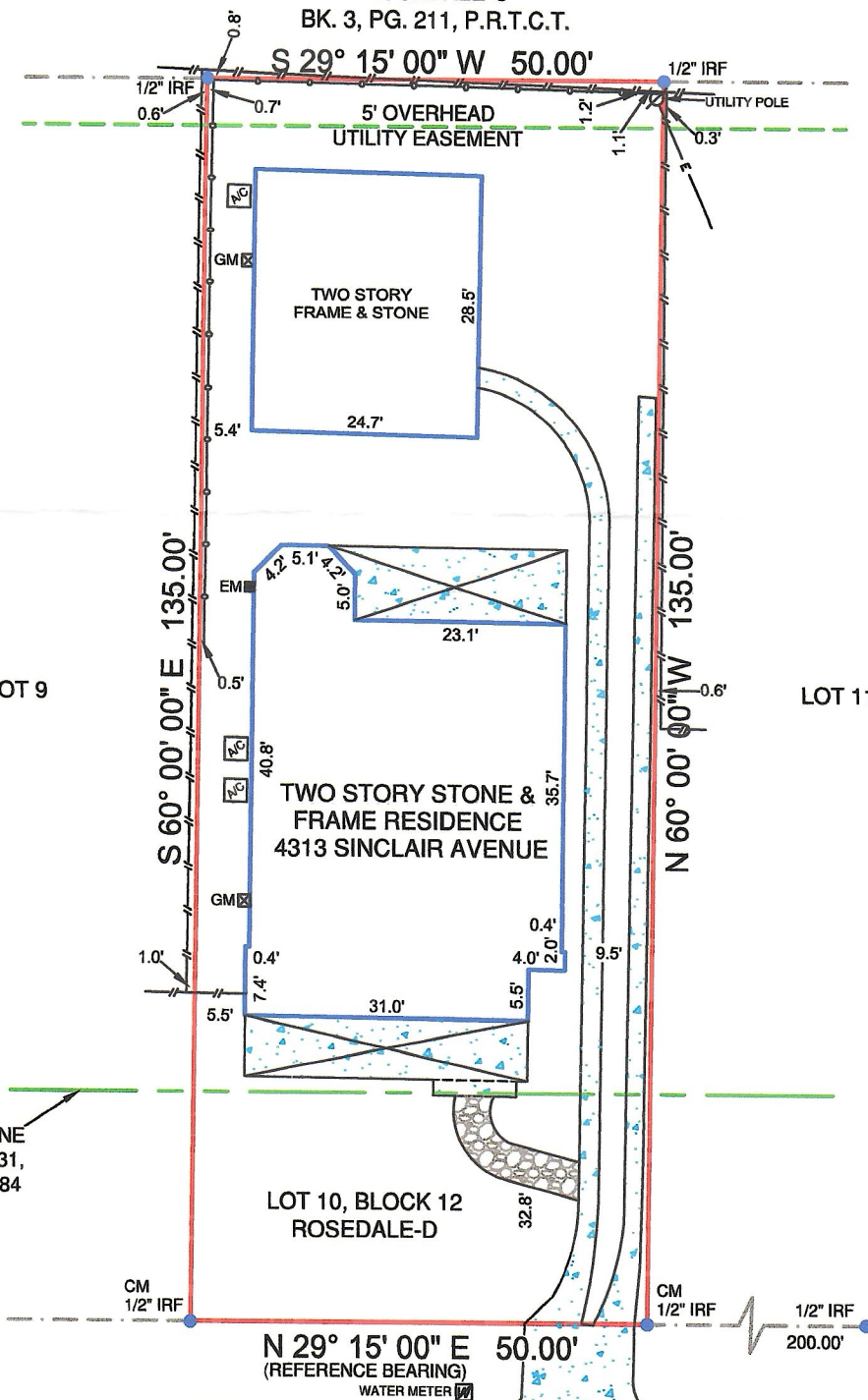
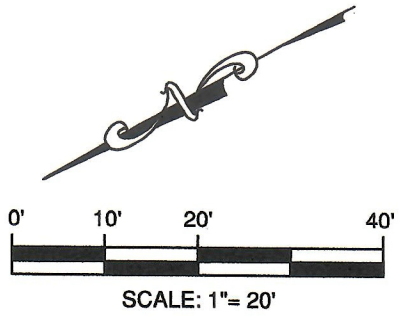


ROSEDALE-C  
BK. 3, PG. 211, P.R.T.C.T.



25' BUILDING LINE  
VOL. 517, PG. 631,  
VOL. 520, PG. 584  
D.R.T.C.T.

**SINCLAIR AVENUE**  
(50' R.O.W.)



**LEGEND:**

—x—x—	BARB WIRE FENCE	[Blue Hatched]	ASPHALT
—o—o—	CHAIN LINK FENCE	[Blue Dotted]	CONCRETE
—□—□—	WROUGHT IRON FENCE	[Blue Stippled]	GRAVEL
—//—//—	WOOD FENCE	[White]	TILE
—v—v—	VINYL FENCE	[Light Blue]	WOOD
—E—E—	ELECTRIC LINE	[Red]	BRICK
GM	GAS METER	[Brown]	STONE
EM	ELECTRIC METER	[Dark Brown]	
IPF	IRON PIPE FOUND	[Black]	
IRS	IRON ROD SET WITH "PREMIER" CAP		
IRF	IRON ROD FOUND		
CM	CONTROLLING MONUMENT (WOOD) RAILROAD TIE		

**NOTES:**  
BEARINGS ARE BASED ON THE RECORDED PLAT.  
EASEMENTS ARE BASED ON THE RECORDED PLAT UNLESS OTHERWISE NOTED.

**LEGAL DESCRIPTION:**  
BEING LOT 10, BLOCK 12, ROSEDALE-D, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 3, PAGE 226, DEED RECORDS, TRAVIS COUNTY, TEXAS.

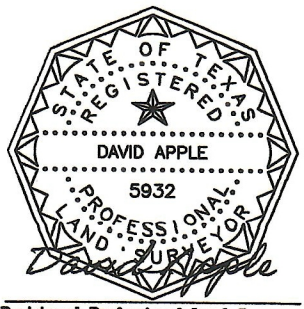
**SURVEYOR'S CERTIFICATION:**  
THIS IS TO CERTIFY THAT ON THIS DATE A SURVEY WAS MADE ON THE GROUND, UNDER MY SUPERVISION AND REFLECTS A TRUE AND CORRECT REPRESENTATION OF THE DIMENSIONS AND CALLS OF PROPERTY LINES AND LOCATION AND TYPE OF IMPROVEMENTS. THERE ARE NO VISIBLE AND APPARENT EASEMENTS, CONFLICTS, INTRUSIONS OR PROTRUSIONS, EXCEPT AS SHOWN. THIS SURVEY IS NOT TO BE USED FOR CONSTRUCTION PURPOSES AND IS FOR THE EXCLUSIVE USE OF THE HEREON NAMED PURCHASER, MORTGAGE COMPANY, AND TITLE COMPANY ONLY AND THIS SURVEY IS MADE PURSUANT TO THAT CERTAIN TITLE COMMITMENT UNDER THE GF NUMBER SHOWN HEREON, PROVIDED BY THE TITLE COMPANY NAMED HEREON AND THAT THIS DATE, THE EASEMENTS, RIGHTS-OF-WAY, OR OTHER LOCATABLE MATTERS OF RECORD THAT THE UNDERSIGNED HAS KNOWLEDGE OR HAS BEEN ADVISED ARE AS SHOWN OR NOTED HEREON. THIS SURVEY IS SUBJECT TO ANY AND ALL COVENANTS AND RESTRICTIONS PERTAINING TO THE RECORDED PLAT REFERENCED HEREON.

GF. NO.	T-148816
BORROWER	SEAN M. MORAN AND JULIE L. MORAN
TITLE CO.	TEXAS NATIONAL TITLE
TECH	AS
FIELD	MP

**FLOOD INFORMATION:**  
THE SUBJECT PROPERTY DOES NOT APPEAR TO LIE WITHIN THE LIMITS OF A 100-YEAR FLOOD HAZARD ZONE ACCORDING TO THE MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, AND HAS A ZONE "X" RATING AS SHOWN BY MAP NO. 48453C0455 J, DATED JANUARY 6, 2016.

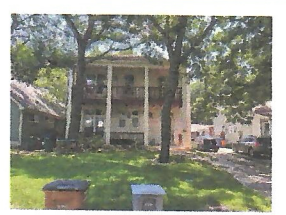
DATE: 06/16/21 JOB NO.: 21-05272  
FIELD: 06/16/21

4313 SINCLAIR AVENUE, AUSTIN, TX 78756  
LOT 10, BLOCK 12, ROSEDALE-D



**Premier Surveying LLC**

5700 W. Plano Parkway  
Suite 1200  
Plano, Texas 75093  
972-612-3601 (O) | 855-892-0468 (F)  
www.premiersurveying.com  
premierorders@premiersurveying.com



DATE: \_\_\_\_\_  
ACCEPTED BY: \_\_\_\_\_

**Premier Surveying LLC**

5700 W. Plano Pkwy., Suite 1200  
Plano, Texas 75093  
Office: 972-612-3601  
Fax: 972-964-7021  
Firm Registration No. 10146200

Registered Professional Land Surveyor